



THE  
CHIMES

DERBY ROAD  
HILTON

South Derbyshire | DE65 5FP

A  
DESIRABLE  
PLACE  
TO LIVE



HILTON

Glebe Homes latest development offers the rare opportunity  
of acquiring an individually designed home,  
in a thriving modern village.



FOUR EXCLUSIVE  
BUNGALOWS



**PLOT 1** 3 Bed Detached Bungalow (with Garage)



**PLOT 2/3/4** 2 Bed Detached Bungalows

# WELCOME TO HILTON

Hilton is a thriving modern village in South Derbyshire between Derby and Burton-on-Trent. Surrounded by fields and farmland, it has a rural feel but with all the advantages of a city suburb. The area has many local footpaths and open spaces to take advantage of, whether that's walking the dog, cycling, or taking a relaxing evening stroll.

Glebe Homes have been using our knowledge, and experience, to produce quality developments throughout Derbyshire. We strive to build homes with style and character that, whilst enhancing the local environment, are in keeping with existing properties in the area.



Hilton Valley woods



# YOUR AREA

Hilton has the convenience of having all daily amenities in the village, including; Supermarkets & Shops, Vets, GP and Dental Practice with a Pharmacy, 2x Primary Schools, and a Car Serving Garage all within walking distance.

The village has 4 Pubs and several takeaways, a bakery serving cakes & coffee, a bistro cafe, 2 hair salons, a barbershop, and a treatment rooms.

Hilton is a short drive from Mercia Marina; the largest inland marina in Europe; with it's excellent bars, restaurants, coffee shops and boutique retailers.

Hilton also offers excellent transport links to main routes, A38, A50, M1, M42 and M6, an easy commute to Nottingham, Birmingham, Lichfield, Stoke, and only 4 miles to Willington Railway Station.



# FINISHED WITH PRIDE

All our homes are beautifully designed and built to the highest possible standards; using only quality materials, top of the range furnishings & fittings, and our attention to detail ensures we build you a home you will love.



Photos are indicative of previous builds



# YOUR PERFECT HOME

Choosing a home is one of life's most important decisions. With Glebe Homes you can be sure you're investing in the very best, with these four stunning bungalows located on Derby Road, Hilton. These properties are individually designed with one 3 x bedroom detached bungalow and garage, and three 2 x bedroom detached bungalows, located off a private drive. These high-quality spacious properties combine traditional style with today's modern living.



**PLOT 1**  
3 Bed Detached Bungalow

**PLOT 2**  
2 Bed Detached Bungalows



**PLOTS 3/4**  
2 Bed Detached Bungalows



*These plans are correct at the time of going to press, but may be subject to change during construction.*

# PLOT 1

3 BED DETACHED BUNGALOW



# PLOT 1

## EXTERIOR ELEVATIONS & FLOOR PLAN

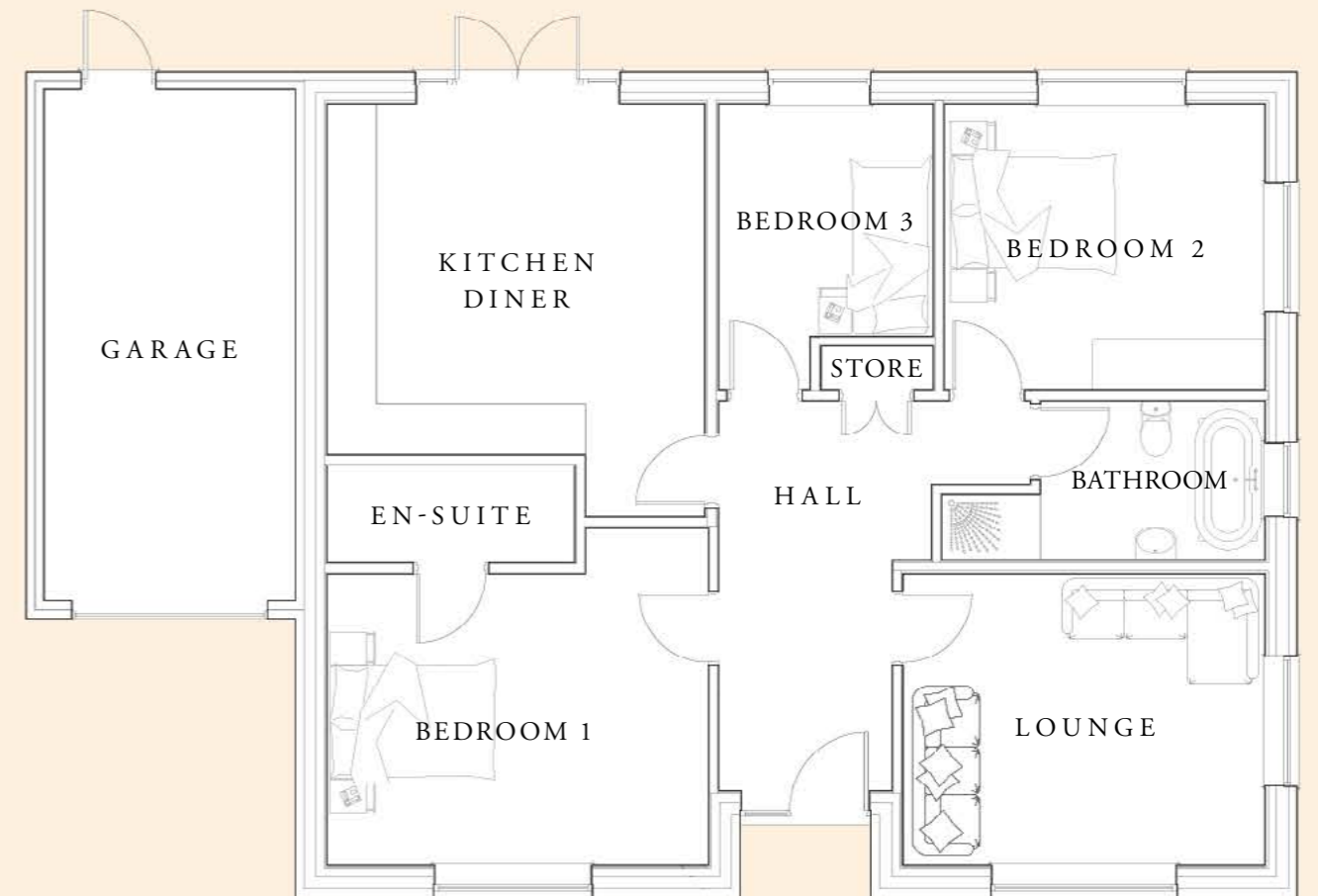
FRONT



REAR



SIDE



## FLOOR PLAN

KITCHEN/DINER  
4.6m x 4.3m

BEDROOM 1  
4.6m x 3.5m

EN-SUITE  
3.0m x 1.2m

BEDROOM 2  
3.9m x 3.5m

BEDROOM 3  
2.6m x 2.8m

BATHROOM  
2.7m x 1.9m

LOUNGE  
4.4m x 3.5m

HALL  
3.8m x 6.0m

GARAGE  
3.0m x 6.2m

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Room sizes are approximate and elevation treatments may vary. Kitchen and bathroom layouts are indicative.*



# PLOT 2

2 BED DETACHED BUNGALOW



# PLOTS 3/4

2 BED DETACHED BUNGALOWS



# PLOT 2

## EXTERIOR ELEVATIONS & FLOOR PLAN

FRONT



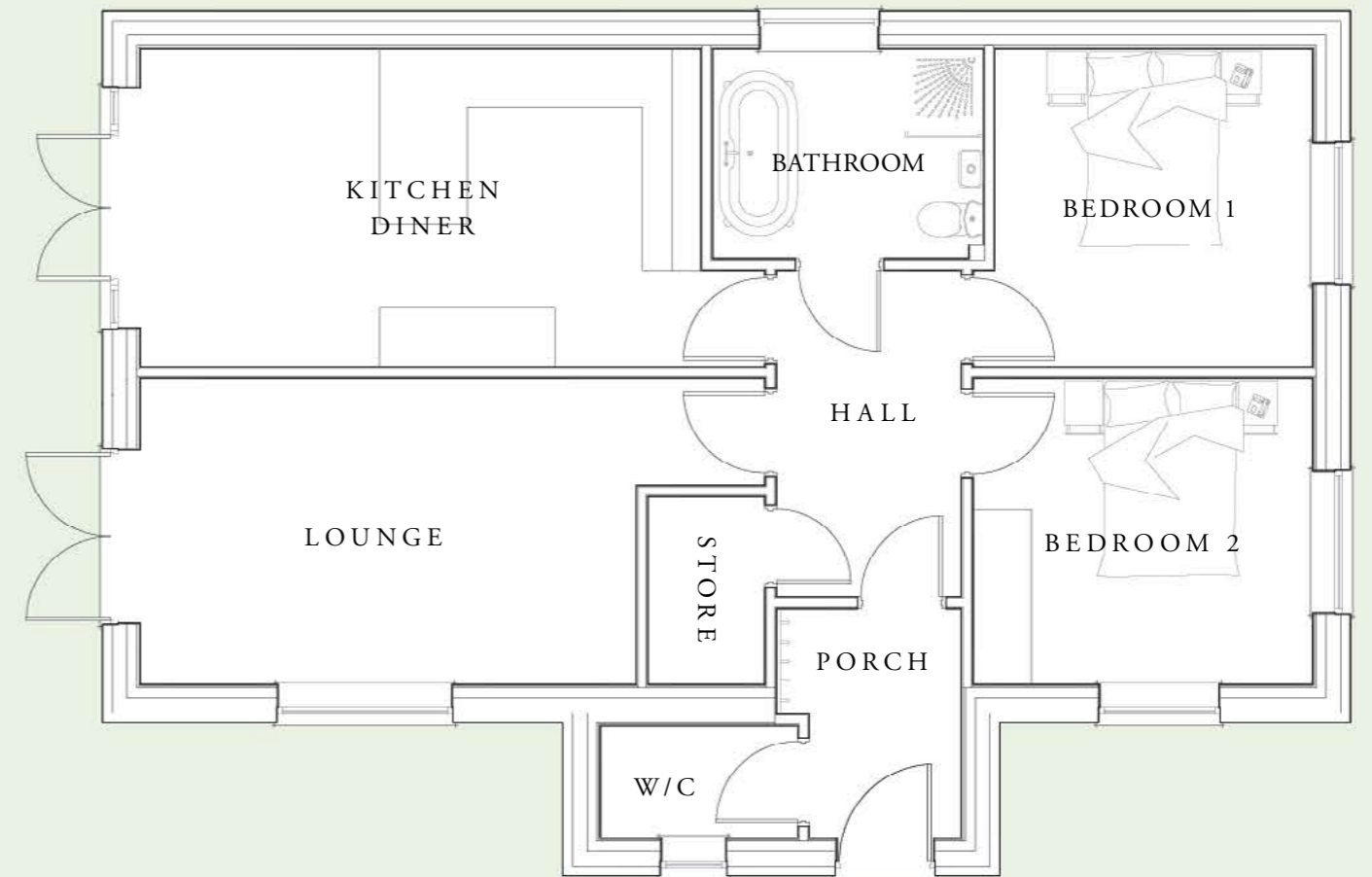
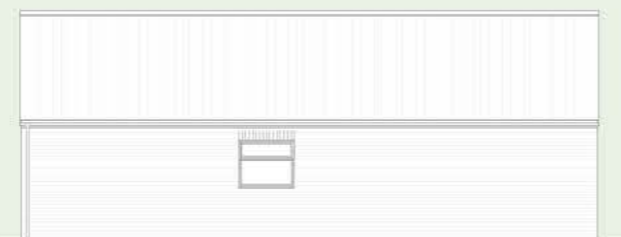
SIDE



SIDE



REAR



## FLOOR PLAN

KITCHEN/DINER  
5.8m x 3.3m

BATHROOM  
2.8m x 2.2m

W/C  
2.0m x 1.2m

BEDROOM 1  
3.3m x 3.3m

LOUNGE  
5.1m x 3.1m

HALL  
1.9m x 3.4m

BEDROOM 2  
3.5m x 3.1m

STORE  
1.2m x 1.9m

PORCH  
1.6m x 2.4m

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# PLOTS 3-4

## EXTERIOR ELEVATIONS & FLOOR PLAN

FRONT



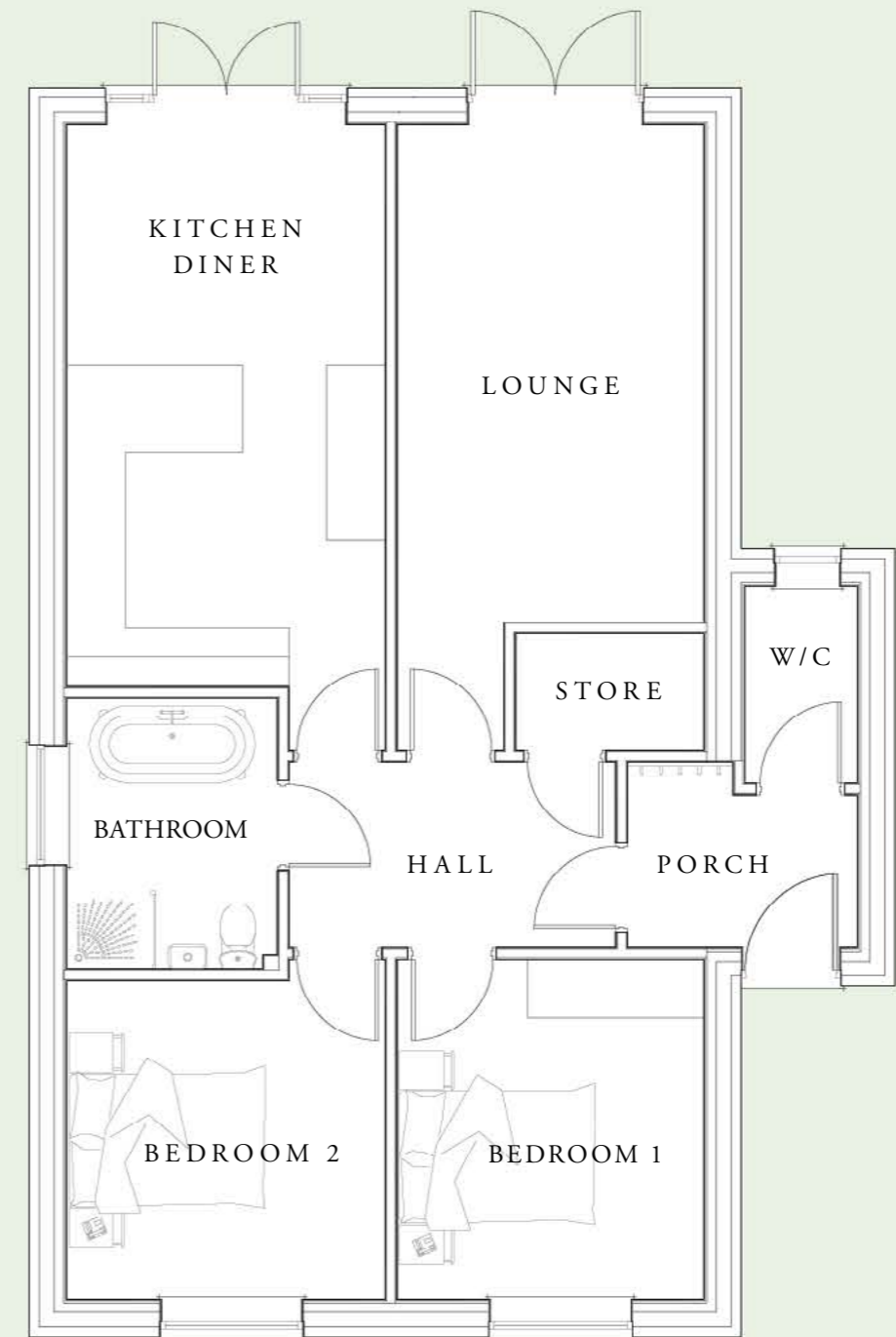
REAR



SIDE



SIDE



### FLOOR PLAN

KITCHEN/DINER  
5.8m x 3.3m

BATHROOM  
2.8m x 2.2m

W/C  
2.0m x 1.2m

BEDROOM 1  
3.3m x 3.3m

LOUNGE  
5.1m x 3.1m

HALL  
1.9m x 3.4m

BEDROOM 2  
3.5m x 3.1m

STORE  
1.2m x 1.9m

PORCH  
1.6m x 2.4m

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# HOME SPECIFICATIONS

## EXTERNAL

Landscaped garden with turfed lawns  
Energy efficient double glazed windows  
Composite doors front and back  
Chrome door furniture  
Outdoor weatherproof socket  
Paving to external areas  
Exterior LED lighting  
EV charge point

## HEATING & PLUMBING

Energy efficient gas fired central heating  
Outside water tap

## KITCHEN

Traditional or contemporary design  
Energy efficient appliances  
Integrated oven and hob  
Integrated fridge freezer  
Integrated dishwasher

## INTERNAL FINISH

Floor coverings to hall, bathroom and kitchen  
Decorated throughout  
Polished chrome door furniture and ironmongery  
Oak finish internal doors

## ELECTRICAL

Spotlights to lounge, hall, kitchen, bedrooms,  
bathroom, and en-suite  
Shaver sockets to bathroom and en-suites  
Power points & lights to garage (Plot 1 only)  
TV points  
Intruder and smoke alarms  
BT point  
Chrome sockets to kitchen above work tops  
White sockets and switches to remaining  
Strip LED lights under kitchen wall units  
100% Energy efficient light fittings

## BATHROOM

Half tile to wet walls with fully tiled shower  
Contemporary white sanitary ware throughout  
Chrome towel rail to bathroom and en-suites  
Contemporary chrome taps and fittings  
Shower to all bathrooms  
Bath in main bathroom

## OPTIONAL EXTRAS

CCTV camera  
Automated garage door  
Granite worktops to kitchens  
Fitted wardrobes to bedrooms  
Wood flooring or carpets to other rooms

# BUILDING QUALITY HOMES

Every Glebe Home must not only meet our own strict quality control standards, but also has the advantage of a 10 year warranty. This gives all our customers the reassurance that every key stage of construction has been subjected to the most stringent checks, ensuring our quality craftsmanship meets with building approval standards.

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